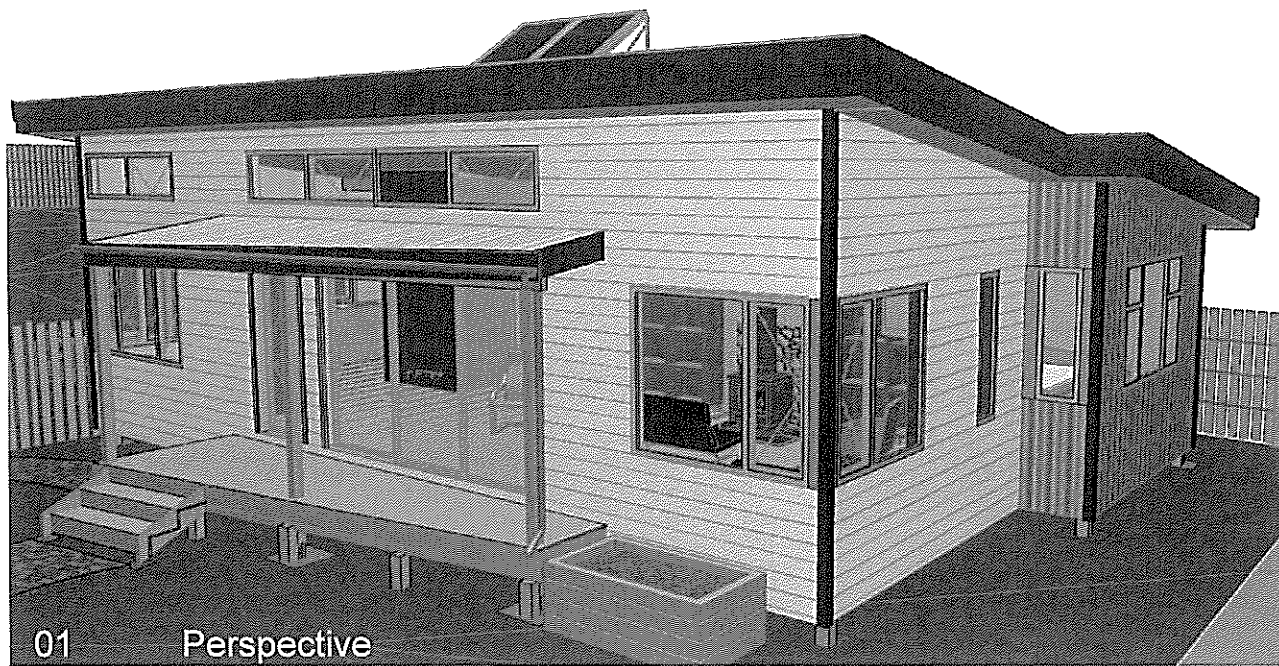
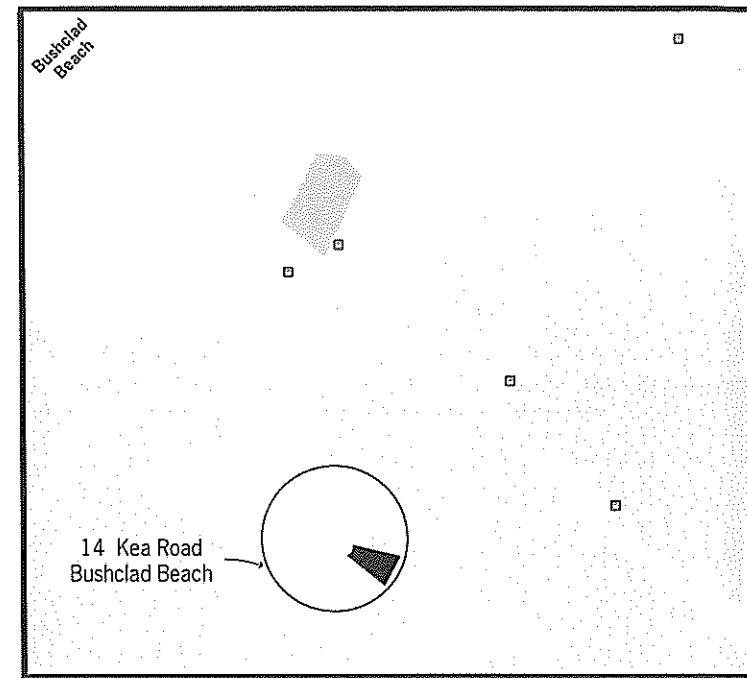




01 Perspective



02 Location Plan NTS

Location of Specification Information

Element	Location - Plan or Document
Materials & Finishes	
Cladding	Nth Elevations
Window Type	Nth Elevations
Window Glass type etc	Door & Window Schedule
Risk Matrix	Est Elevation
Paint Type	Est Elevation
Compatibility	Floor Plan
Roofing	
Cladding Type & Fixing	Roof Plan
Framing, Treatment & Fixing	Roof Framing
Bracing Type & Fixing	Roof Framing
Ceiling Lining & Fixing	Sections
Insulation	Roof Framing
Underlay	Elevations, Roof Plan
Flooring	
Frame, Treatment & Footings & Fixings	Floor Framing
Bracing	Foundation Plan & Sep Calc
Lining & Fixing	Sections & Floor Plan
Insulation	Floor Framing
Wall	
Stud Type & Treatment	Floor Plan
Cladding Type & Finish	Elevations
Bracing Type & Fixing	Floor Plan & Sep Calc
Cladding Fixing	Elevations
Lining & Fixing	Sections
Insulation	Sections
Underlay	Elevations
Lintels	
Name & Size	Roof Framing
Fixing	Lintel Schedule & Roof Framing
Veranda	
Post	Floor Plan & Details
Beam	Roof Framing Plan & Details
Fixing & Uplift Calcs	Details & Lintel Schedule/Calc
Deck	
Stringer & Fixing	Floor Framing & Details
Decking & Fixing	Floor Plan & Details
Stairs	
Size & Materials	Section C
Fixing & Treatment	Floor Framing
Baseboards	
Material & Fixing	Floor Framing
SHW	Fixing
	Roof Plan

Sheet Index

Layout ID	Layout Name
A3.01	Location and Site Plan
A3.02	Floor Plan
A3.03	Roof Plan
A3.04	Services Plan
A3.05	Floor Framing
A3.06	Roof Framing
A3.07	North & South Elevations
A3.08	East & West Elevation
A3.09	Section A, B & E
A3.10	Section C & D
A3.11	Main Roof Details
A3.12	Veranda Roof & Window Details
A3.13	Wall & Window Details
A3.14	Floor and Footing Details
A3.15	Door & Window Schedule

Site Plan Key

	Cuttriss' spot depth checks consistently firm ground at 300mm.
	Possible battered landscaping fill < 1m deep (no retaining required)
	Boundary
	Yard set back

Coverage Calculation - 40% max coverage (excluding eaves & uncovered decks & stairs < 1m high)	
Site Area	987.00 m ²
Existing Garage	43.20 m ²
Proposed House (includg wall cladding)	102.47 m ²
Covered deck	15.90 m ²
TOTAL COVERAGE	161.57 m² = 16.37%
(+ permeable stairs less than 1m high 4m ²)	

Permeable Surface Calculation - 30% min permeable surface allowed	
Building Coverage	161.57 m ²
Non-Permeable Paving (max)	20.00 m ²
IMPERMEABLE SURFACE	181.57 m² = 18.40%
(+ permeable driveway and paths apx 125m ²)	

Carry out all work in accordance with the New Zealand Building Code and NZS 3604: 2011

Contractor shall check all dimensions on site and confirm setout prior to commencing work. Where variation occurs consult the owner prior to proceeding.

Read all drawings in conjunction with specifications.

Job Number **02.11**

Job Title

Simpson's Beach House

14 Kea Road, Brightlands Bushclad Beach, 5912

Drawing Name
Site Plan, Location Plan, Sheet Index, Recession Plane Section, Perspective

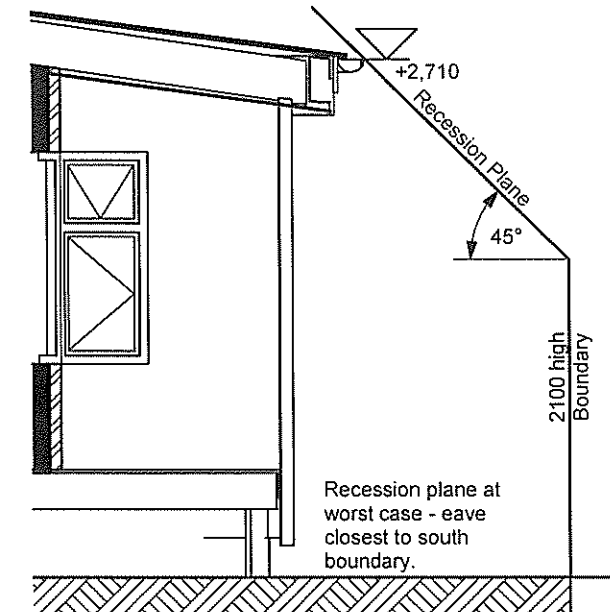
Date
02 Dec 2011

Drawing Status
Building Consent

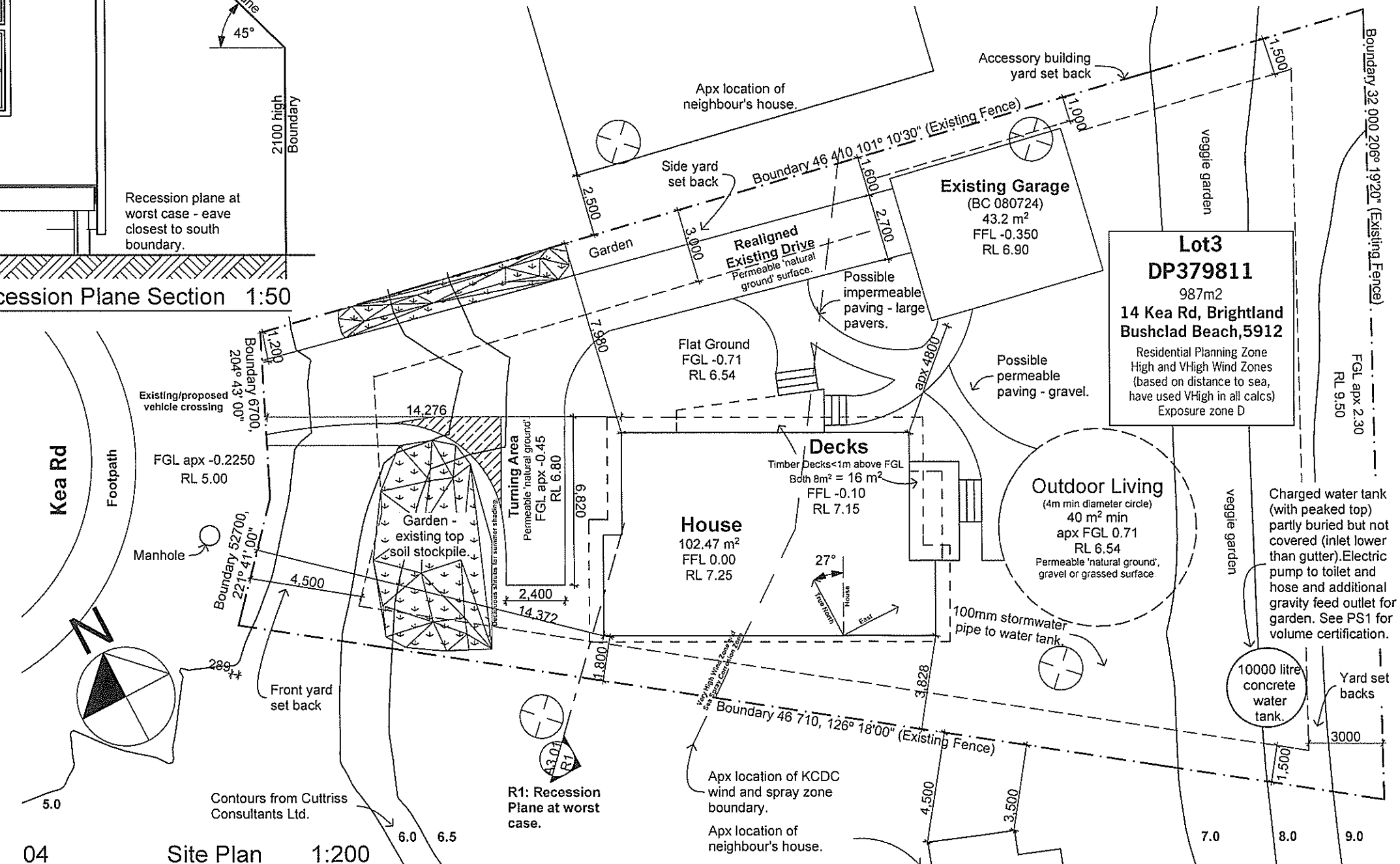
Drawing Scale at A3
1:50, NTS, 1:200

Drawing Number
A3.01

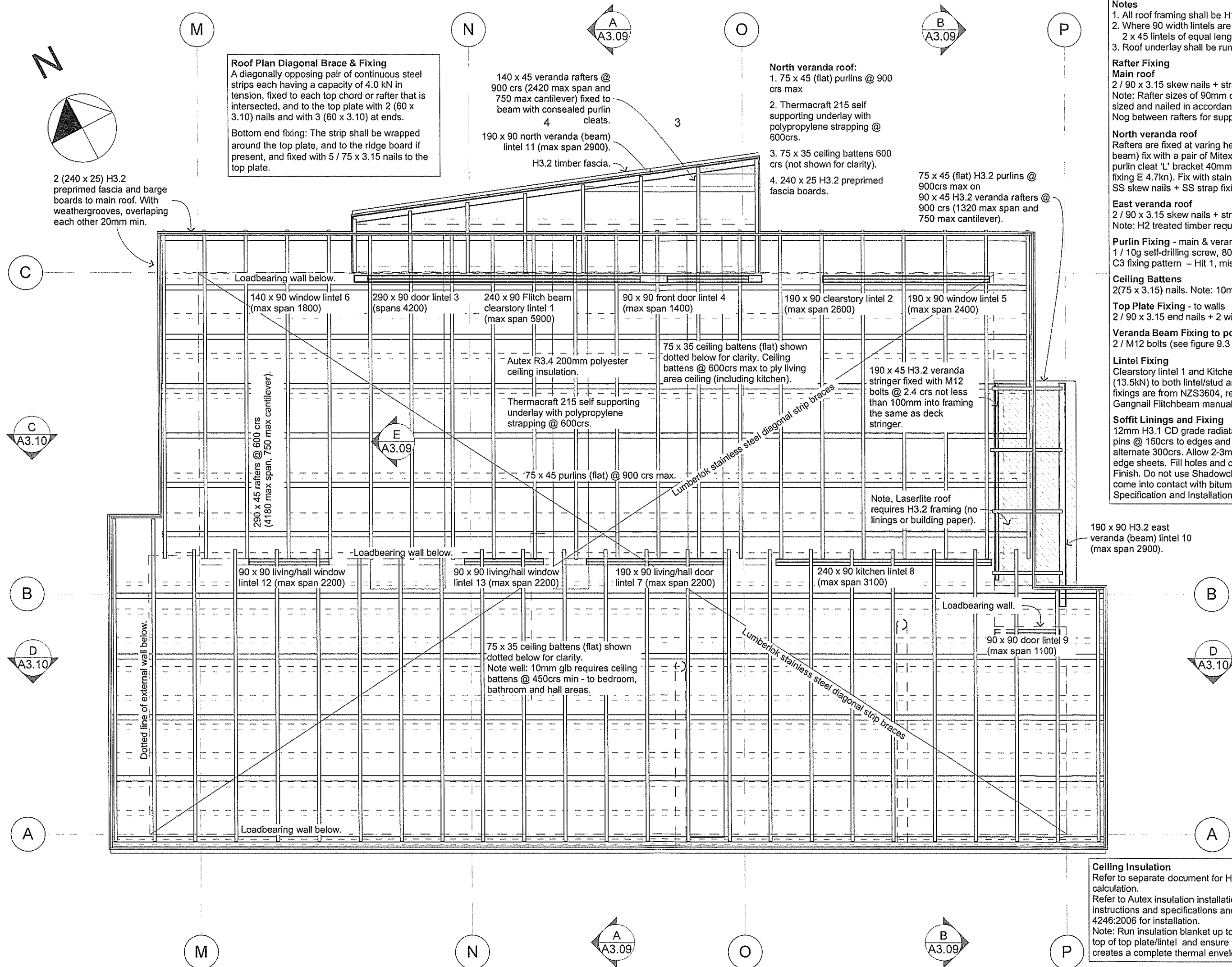
Revision
1 Spec index, exposure zone, 30 24 01.12
2 Driveway overlay 02.02.12



03 Recession Plane Section 1:50



04 Site Plan 1:200



Roof Framing Plan

Notes

1. All roof framing shall be H1.2 unless otherwise stated.
2. Where 90 width lintels are specified these may be substituted for 2 x 45 lintels of equal length.
3. Roof underlay shall be run horizontally.

Rafter Fixing

Main roof

2 / 90 x 3.15 skew nails + strap fixing.
Note: Rafter sizes of 90mm can be substituted with built-up members sized and nailed in accordance with NZS 3604 clause 2.4.4.7.
Nog between rafters for support as required.

North veranda roof

Rafters are fixed at varying heights (due to differencing lengths along beam) fix with a pair of Mitex stainless CPC 40 (this is a concealed purlin cleat 'L' bracket 40mm h x 85 x 30; an alternative to NZS 3604 fixing E 4.7kn). Fix with stainless CPC 40 fixings (or with 2 / 90 x 3.15 SS skew nails + SS strap fixing).

East veranda roof

2 / 90 x 3.15 skew nails + strap fixing.
Note: H2 treated timber required.

Purlin Fixing - main & veranda roofs

1 / 10g self-drilling screw, 80 mm long.
C3 fixing pattern - Hit 1, miss 2, hit 1, miss 3...

Ceiling Battens

2(75 x 3.15) nails. Note: 10mm gib requires ceiling battens @ 450 max.

Top Plate Fixing - to walls

2 / 90 x 3.15 end nails + 2 wire dogs.

Veranda Beam Fixing to post

2 / M12 bolts (see figure 9.3 (C)).

Lintel Fixing

Clearstory lintel 1 and Kitchen lintel 8 use Mitex Lintel Fixing Type H (13.5kN) to both lintel/stud and stud/floor connections. Other lintel fixings are from NZS3604, refer to separate lintel schedule and Mitex Gangnail Flitchbeam manual.

Soffit Linings and Fixing

12mm H3.1 CD grade radiata ply, butt join and fix with 40mm SS panel pins @ 150crs to edges and 300crs to middle of sheets, with glue at alternate 300crs. Allow 2-3mm min expansion gap between square edge sheets. Fill holes and cracks in C face for smooth finish. Paint Finish. Do not use Shadowclad. Note: LOSP H3.1 treatment cannot come into contact with bitumen based underlays. Refer to CHH Ecoply Specification and Installation Guide June 2011.

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Read all drawings in conjunction with specifications.

Job Number 02.11

Job Title

Simpson's Beach House

14 Kea Road, Brightlands
Bushclad Beach, 5912

Drawing Name

Roof Framing Plan

Date

02 Dec 2011

Drawing Status

Building Consent

Drawing Scale at A3

1:50

Drawing Number

A3.06

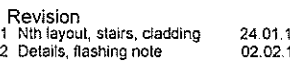
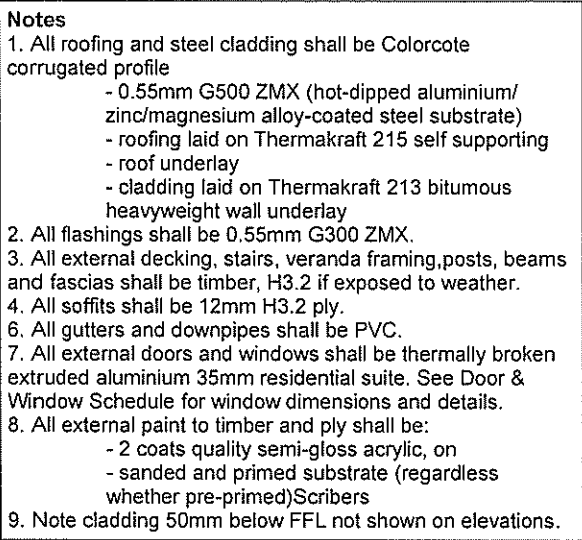
Revision

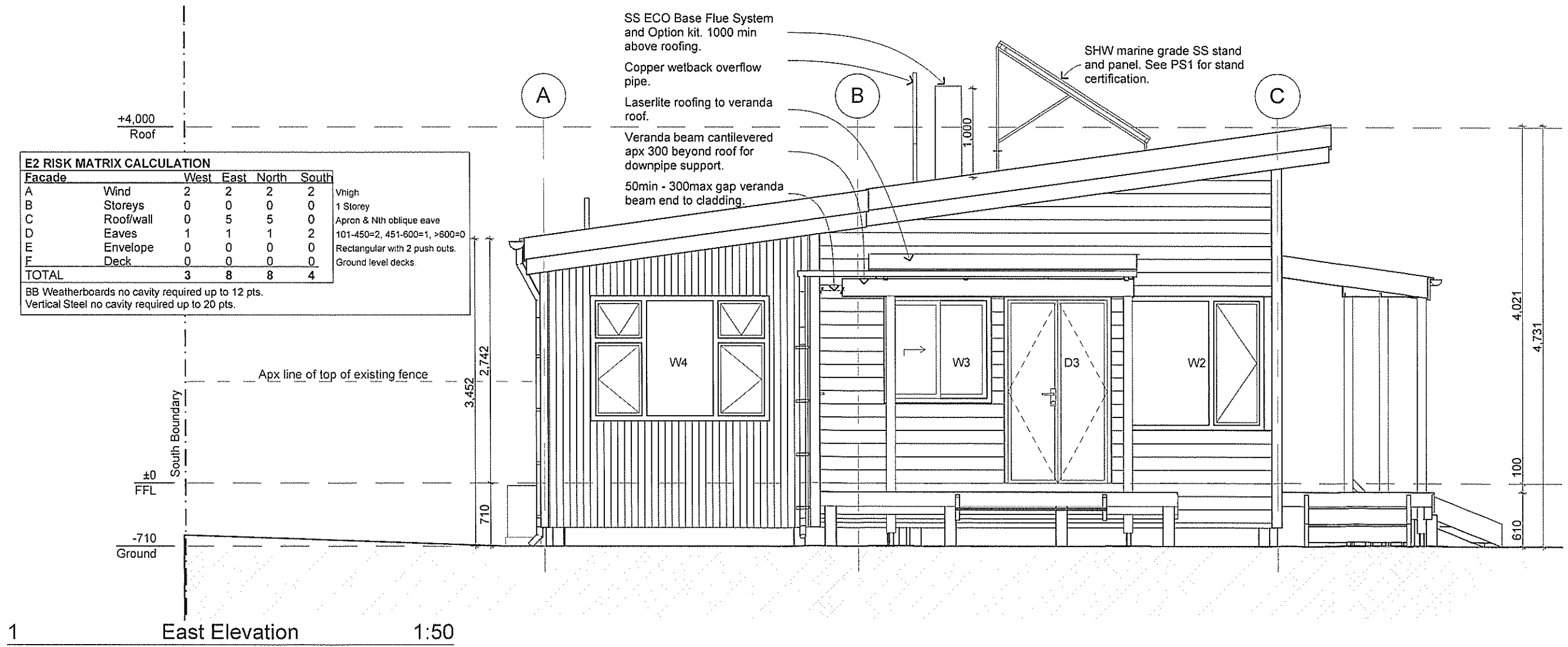
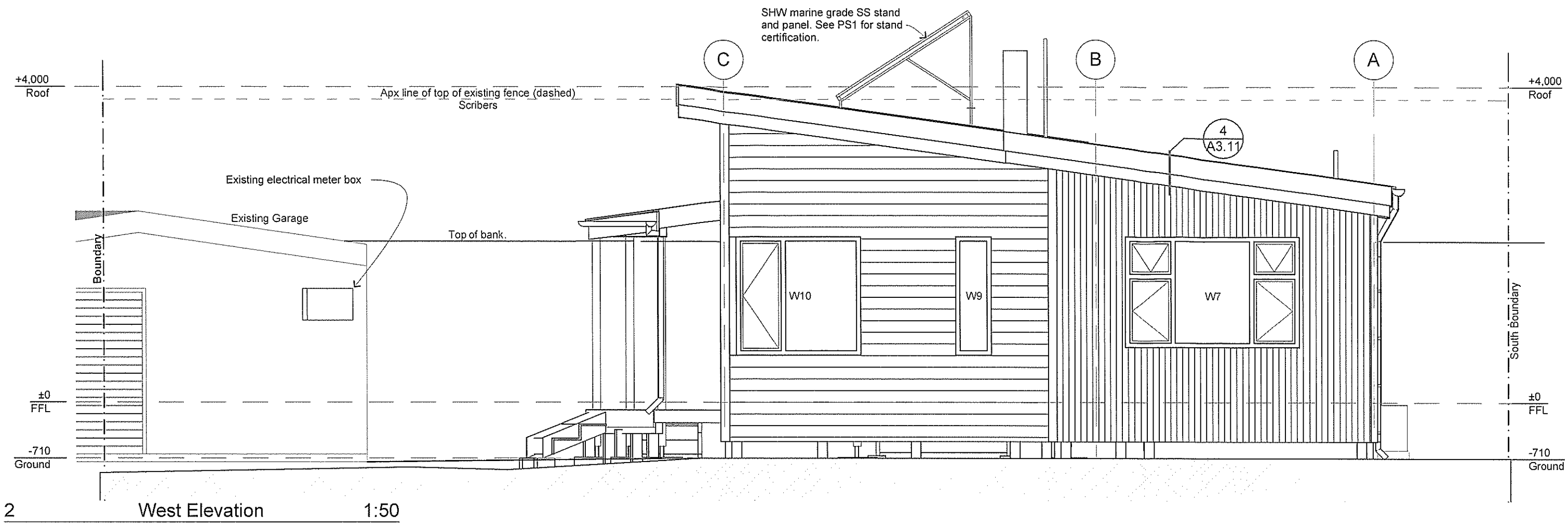
1 Fixings, Est veranda stringer & lintel

24.01.12

Ceiling Insulation

Refer to separate document for H1 calculation.
Refer to Autex insulation installation instructions and specifications and NZS 4246:2006 for installation.
Note: Run insulation blanket up to cover top of top plate/lintel and ensure that it creates a complete thermal envelope.





E2 RISK MATRIX CALCULATION					
Facade		West	East	North	South
A	Wind	2	2	2	2
B	Storeys	0	0	0	0
C	Roof/wall	0	5	5	0
D	Eaves	1	1	1	2
E	Envelope	0	0	0	0
F	Deck	0	0	0	0
TOTAL		3	8	8	4

BB Weatherboards no cavity required up to 12 pts.
Vertical Steel no cavity required up to 20 pts.

Carry out all work in accordance with the New Zealand Building Code and NZS 3604: 2011

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Read all drawings in conjunction with specifications.

Job Number **02.11**

Job Title
Simpson's Beach House

14 Kea Road, Brightlands
Bushclad Beach, 5912

Drawing Name
East Elevation, West Elevation

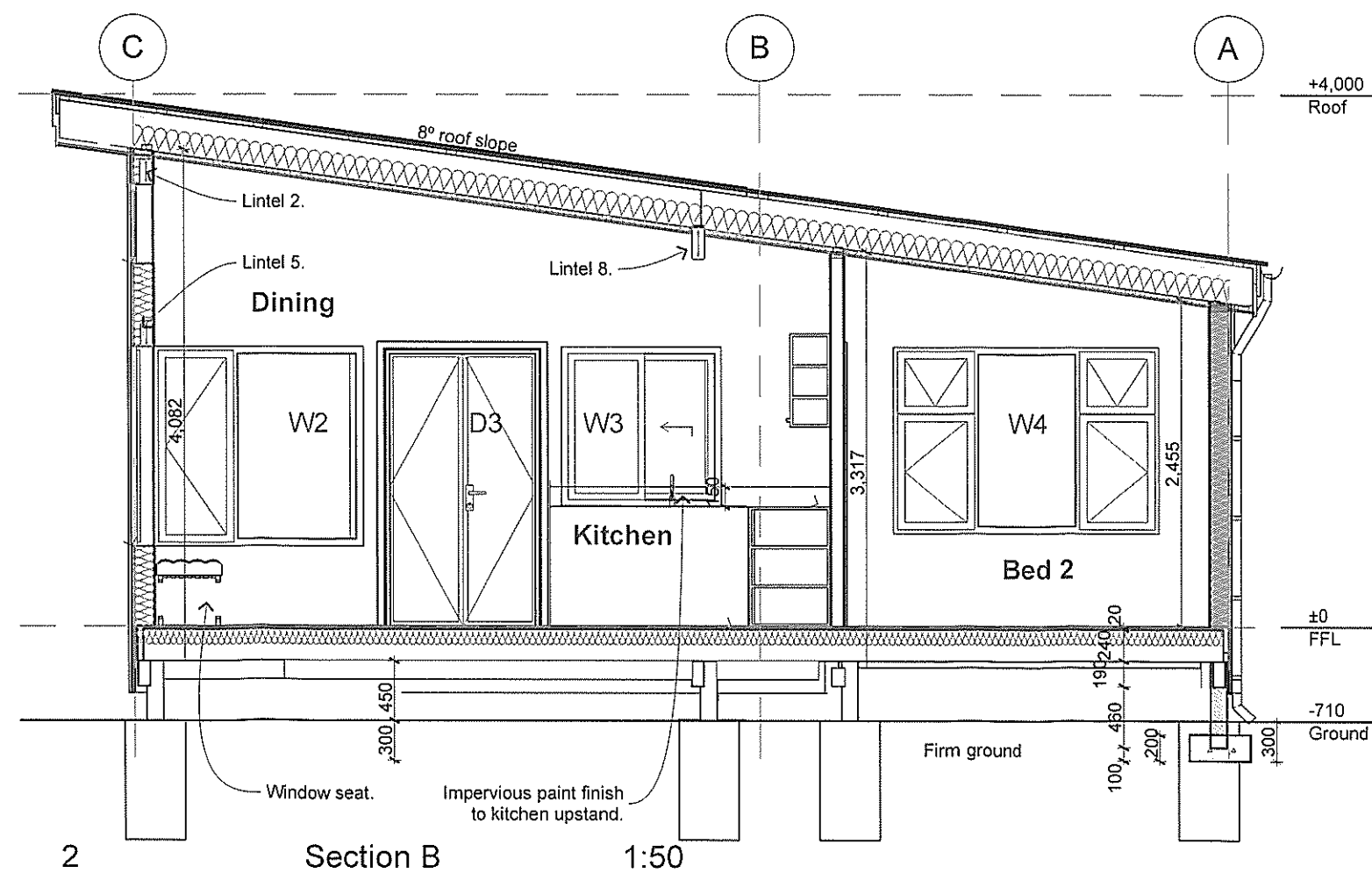
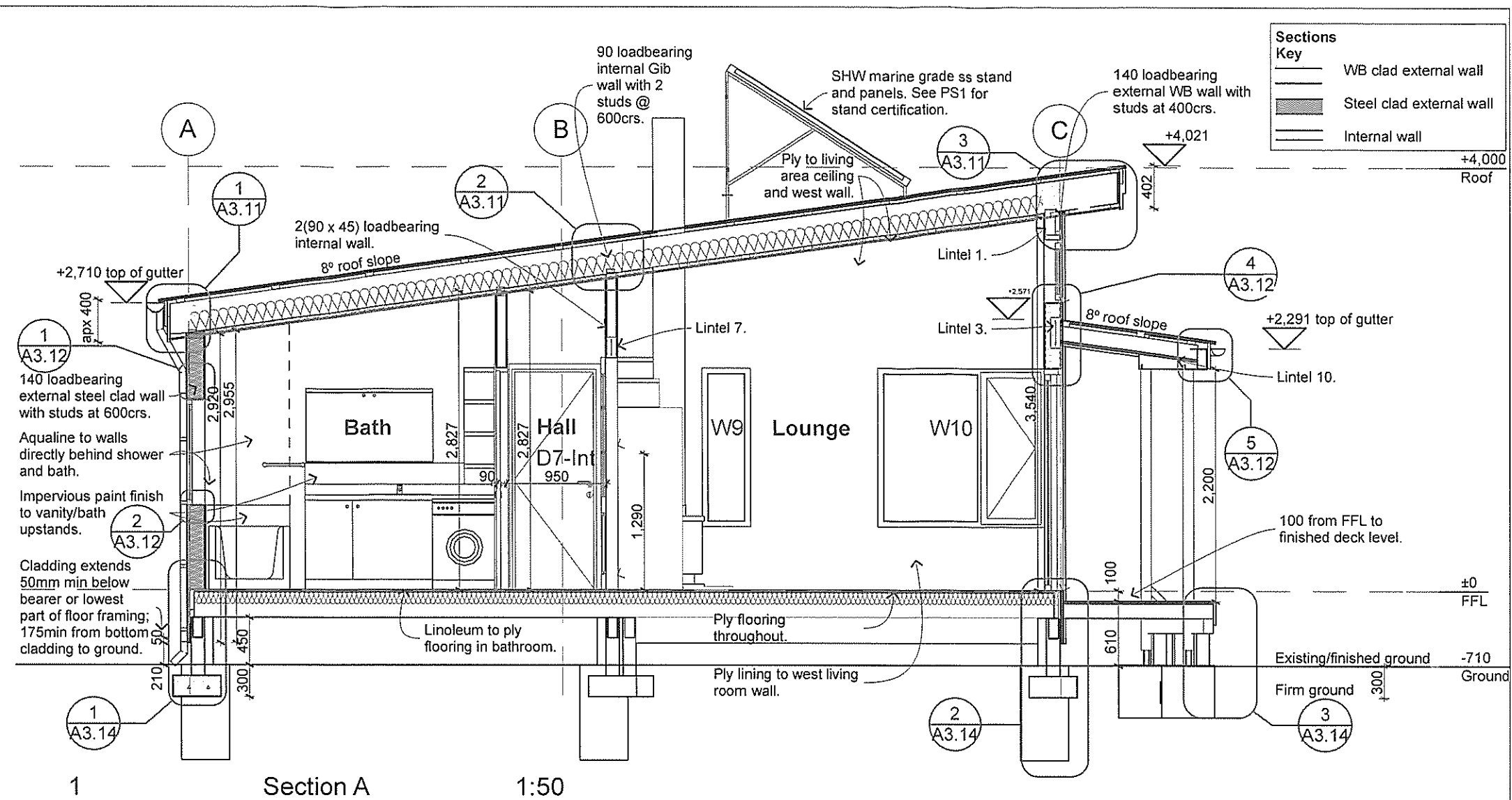
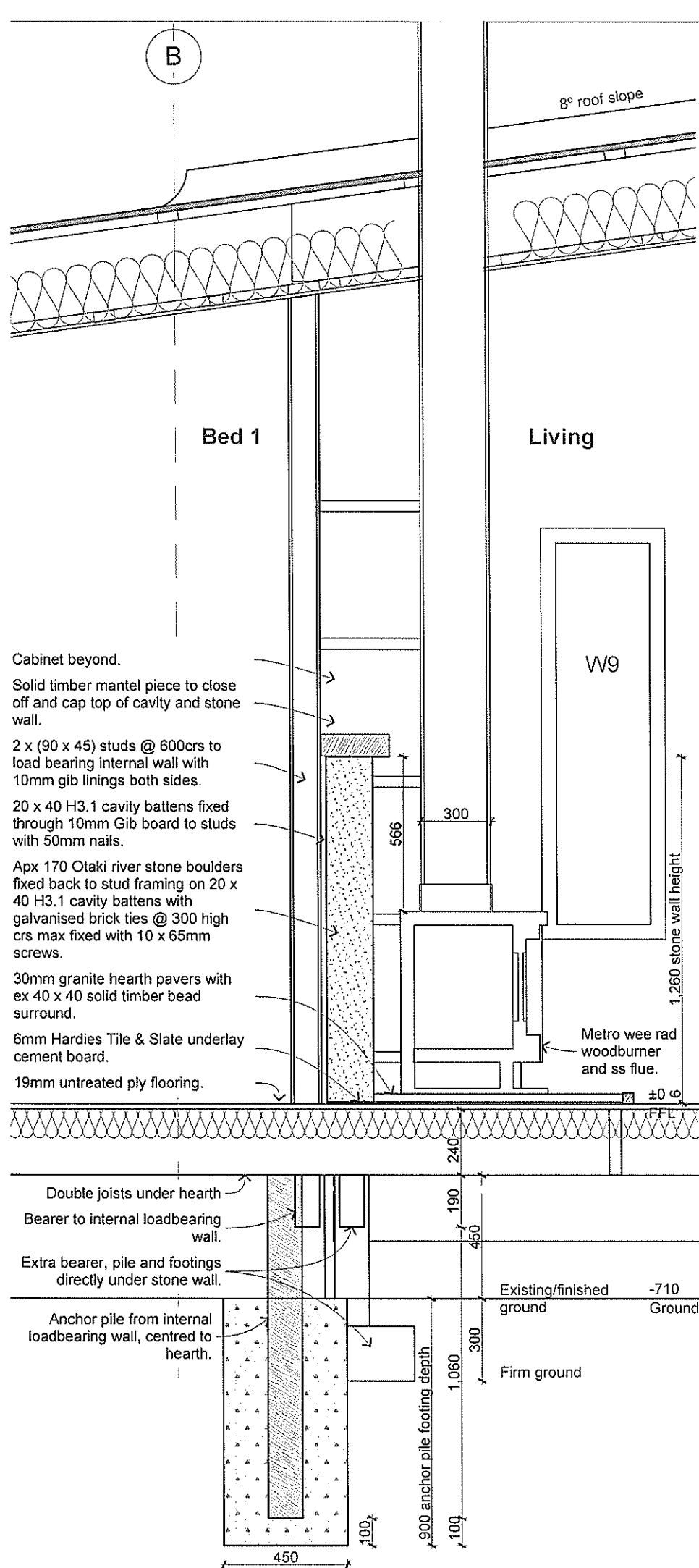
Date
02 Dec 2011

Drawing Status
Building Consent

Drawing Scale at A3
1:50

Drawing Number
A3.08

Revision
1 Joinery W3, stairs, Cladding 24.01.12
2 Risk matrix 02.02.12



Carry out all work in accordance with the New Zealand Building Code and NZS 3604: 2011

Contractor shall check all dimensions on site and confirm setout prior to commencing work. Where variation occurs consult the owner prior to proceeding.

Read all drawings in conjunction with specifications.

Job Number 02.11

Job Title

Simpson's Beach House

14 Kea Road, Brightlands
Bushclad Beach, 5912

Drawing Name

**Section A, Section B,
Section E -
Woodburner Stone Wall**

Date

02 Dec 2011

Drawing Status

Building Consent

Drawing Scale at A3

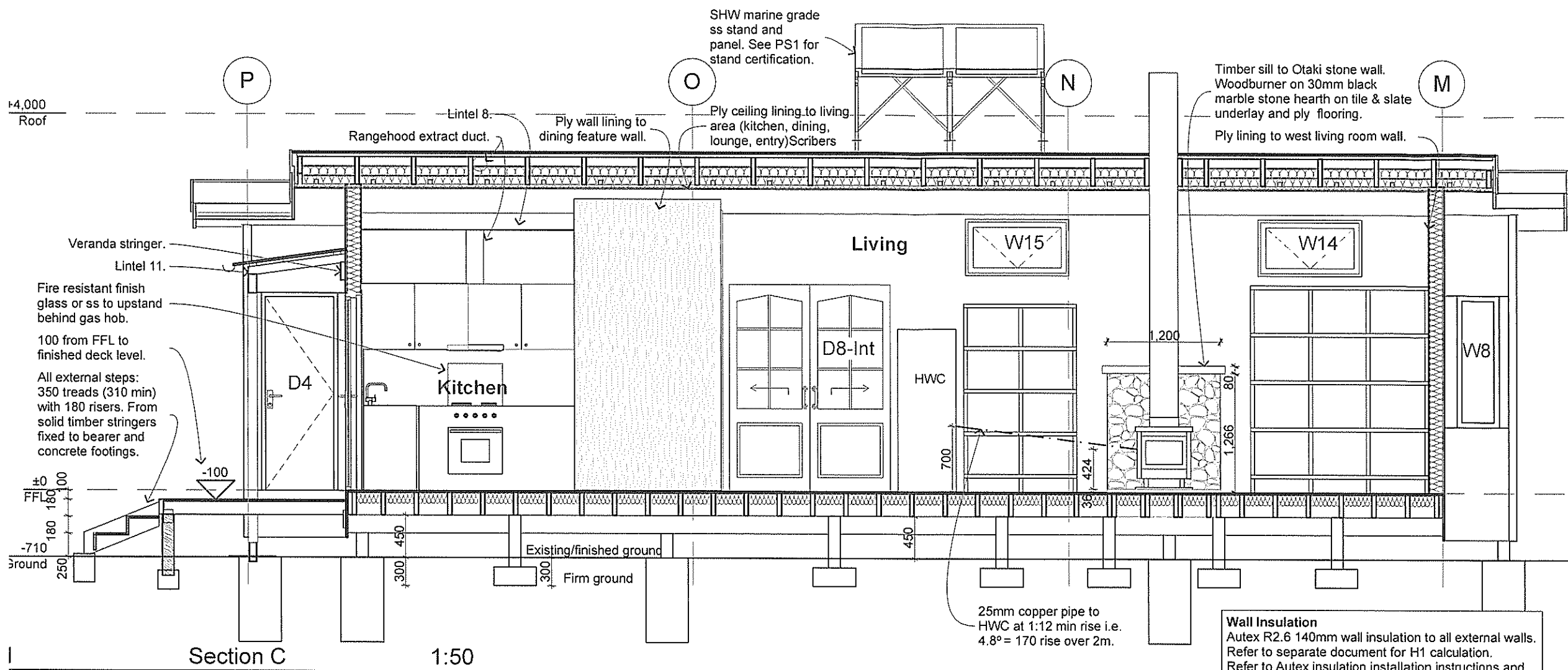
1:50, 1:20

Drawing Number

A3.09

Revision
1 Cladding, details
2 Details

24.01.12
02.02.12



Interior Wall Linings & Fixings
10mm Gib throughout, fixed and stopped to L4 for new paint finish, except:
- 12mm eco ply to west living room wall, dining feature wall and bedroom wardrobe cabinet wall.
- Aqualine directly behind shower and bath.

Gib Fixings
All fixings at 300crs to top and bottom plates and studs (only) plus a single fastener to each stud at sheet joints. Place fasteners 12mm from sheet edges with a 5-10mm gap at the floor line.
Nogs to be evenly spaced (or staggered 150 max either side of a horizontal joint line) with a maximum spacing of 1350mm max. Nogs only required behind horizontal joints behind shower.

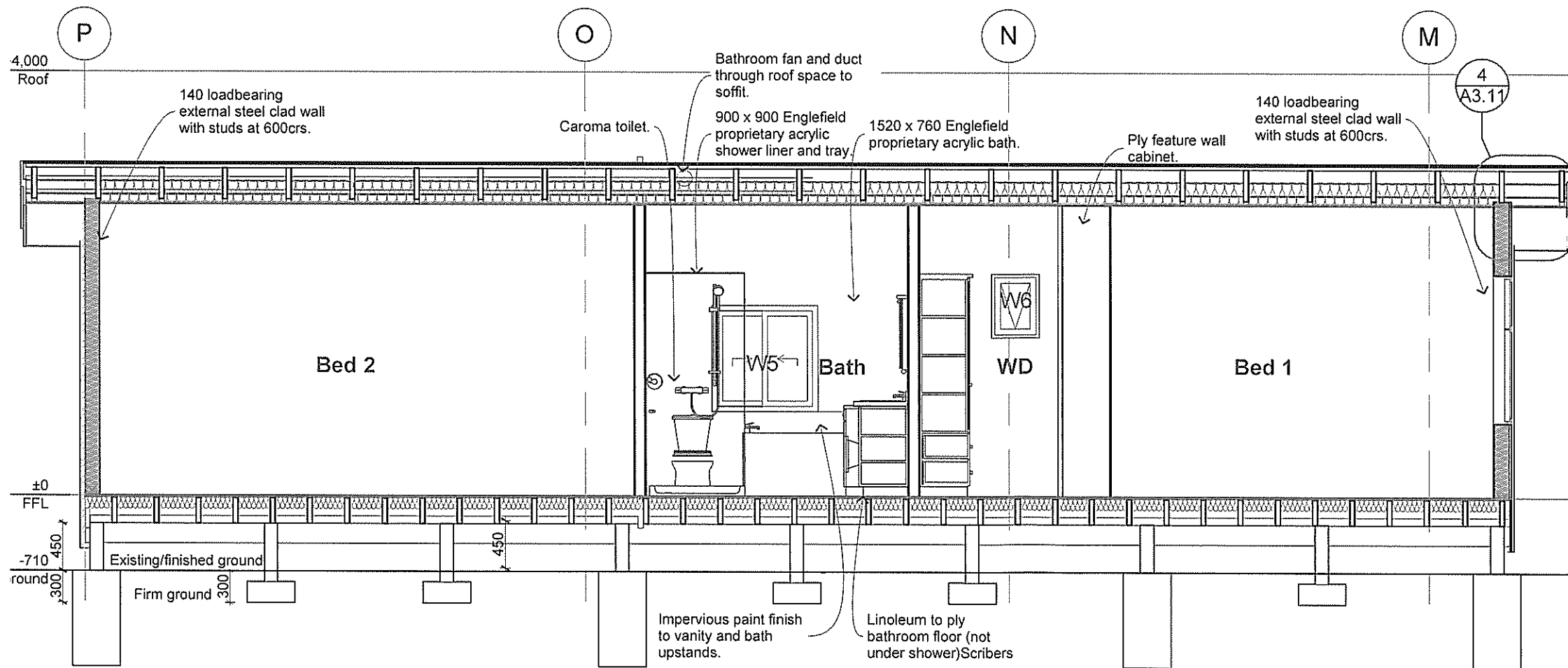
Gib Standard and Aqualine
Minimum 25mm x 6g GIB® Grabber® High Thread Drywall Screws or 30mm x 2.8mm GIB® Nails. 10mm Aqualine to bathroom walls, at least behind shower, bath. With impervious paint finish to 150mm high upstand above vanity and bath.

Gib Bracing
Fix additional screws @100 crs around sheet edges with 3/90x3.15 power driven nails @600crs. Intersecting walls min 32 x 6g Gib Grabber high thread screws @ 300crs. Use GIB Handibrac® hold-down connections at each end bracing element (see below)Scribers Refer to Gib Ezy Brace Systems.

Ply - including ply bracing (to west living room wall)
12mm BB grade radiata ply with 2-3mm expansion gap btn sheets. Fasten with 50 x 2.8 mm hot dipped galvanised flat head nails @ 150crs at perimeter 7mm min from sheet edge and @ 300crs at intermediate studs. Use GIB Handibrac® hold-down connections at each end ply bracing element (see below)Scribers Refer to CHH Eco Ply Specification & Installation Guide.

GIB HandiBrac®
< 100 BU's - 12 x 155 gal coach screws & 25 x 0.9 gal MS strap
>100 BU's/element - 3 (6 30 x 2.5) gal nails
Refer to Gib Handibrac Installation Method.

Otaki River Stone Interior Wall
Otaki river stone boulders fixed back to stud framing on 20 x 40 cavity battens with galvanised brick ties @ 300 high crs max fixed with 10 x 65mm screw. Cavity battens fixed through 10mm Gib board to studs with 40mm screws.



Interior Ceiling Linings and Fixings
1. All interior ceiling lining shall be 10mm Gib, square stopped to L4 for new paint finish - except 12mm ply to living area (including lounge, entry, dining and kitchen areas)Scribers

Gib
450 max batten spacing max for 10mm gib.
Fix to battens with 32mm x 6g GIB® Grabber High Thread Drywall screws to edges and centre of sheets across each batten, 12mm from sheet edges. And daubs of adhesive @ 200crs between screws (not at sheet edges or under fasteners)Scribers Refer to Gib Site Guide 2010 and Ezy Brace Systems June 2011.

Ply (to living area)
600 max batten spacing max for 12mm ply.
12mm Euro Poplar 'light' ply (or 12mm BB grade radiata), with negative detail btn sheets.
Fixed 20mm min into battens with 40mm x 6 gauge min screws @ 150crs around perimeter and 300 around middle (if gluing as well 300 at edges ok)Scribers Water based polyurethane finish. Refer to CHH EcoPly Specification and Installation Guide June 2011.

Interior Floor Linings and Fixings
Ply
19mm untreated Ecoply® structural plywood t&g flooring throughout; except H3.2 (CCA) treated sheets where partly or wholly forming part of the floor to bathroom. F8 grade, longspan sheets fix with 10 gauge 45mm zinc screws @ 150 crs to sheet edges and 300crs to sheet centres, 15 mm from t&g edges - use ss screws for CCA treated ply. Leave 5 mm expansion gap at the perimeter of floor or deck. Sheets must be continuous over at least two spans (three framing members) with grain at right angles to joists.

Hearth
30mm granite glued with granite adhesive to 6mm Hardies tile and slate underlay glued & fixed with 25 annular grooved nails to 40mm steel joists.

the New Zealand Building Code and NZS 3604: 2011
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Read all drawings in conjunction with specifications.
Job Number 02.11
Job Title
Simpson's Beach House
14 Kea Road, Brightlands Bushclad Beach, 5912
Drawing Name
Section C, Section D
Date
02 Dec 2011
Drawing Status
Building Consent
Drawing Scale at A3
1:50
Drawing Number
A3.10
Revision
1 Cladding, stairs
24.01.12